Sale Agreement #\_\_\_\_\_





2. Names of Parties to this Agreement:  Suyer Seller  S. RELEASE DISCLAIMER. This Release of Contingencies Addendum is to be used by Buyer to release various contingencies when hey are satisfied. Buyer may release Duryer's rights under the contingencies at any time to make clear to Seller that Buyer no longer nethods to use or invoke the released contingency right to terminate for any reason.  SUYER ACKNOWLEDGES THAT BY RELEASING ONE OR MORE CONTINGENCIES BUYER IS GIVING UP IMPORTANT RIGHTS DESIGNET OR ENERT THE BUYER. IF BUYER RELEASES A CONTINGENCY AND BUYER TERMINATES UNDER THE CIRCUMSTANCES DESCRIBED ON THE CONTINGENCY, BUYER MAY SEIN DEFAULT UNDER THE SALE AGREEMENT AND FORTET THE RIGHT TO EARNEST MONKY.  SUYER'S AGENT HAS ADVISED BUYER AGAINST RELEASING ANY OF THESE CONTINGENCIES UNLESS BUYER'S CONDITIONS HAVE SEEN SATISFIED, AND BUYER AGAINST RELEASING ANY OF THESE CONTINGENCIES UNLESS BUYER'S CONDITIONS HAVE SEEN SATISFIED, AND BUYER AGREES TO HOLD BUYER'S AGENT AND BUYER'S AGENT'S FIRM HARMLESS FROM ANY DAMAGES, LAUMS AND CAUSES OF ACTION ARISING OUT OF BUYER'S RELEASE OF ANY OF THESE CONTINGENCIES.  1. BUYER ACKNOWLEDGEMENT OF THE SECONTINGENCIES.  2. BUYER ACKNOWLEDGEMENT OF THE SECONTINGENCIES.  3. BUYER ACKNOWLEDGEMENT OF THE SECONTINGENCIES.  3	/ Niamos of Dartios to this narcomores	
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<ul> <li>6. Release of Contingencies: In light of the above acknowledgements, Buyer knowingly and voluntarily agrees to release any of the rights in the Sale Agreement checked below:         <ul> <li>A. Release of Due Diligence Contingency.</li> <li>Buyer is satisfied with Buyer's Due Diligence document reviews, if any, and releases Buyer's rights under this Du Diligence Contingency during the Due Diligence Contingency Period.</li> </ul> </li> </ul>		cy Period, the agreement will terminate and all unreleased Earnest Money will be returned
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☐ Buyer is satisfied with Buyer's Due Diligence document reviews, if any, and releases Buyer's rights under this Du Diligence Contingency during the Due Diligence Contingency Period.	-	
☐ Buyer is satisfied with Seller's repairs in done to the Property	☐ Buyer is satisfied with Buyer	's Due Diligence document reviews, if any, and releases Buyer's rights under this Due
bayer is satisfied with seller's repairs in dolle to the rioperty.	Diligence Contingency during t	he Due Diligence Contingency Period.

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6. Buyer's Signature:

Buyer:

Buyer:

Buyer:

Buyer:

## 2.15 RELEASE OF CONTINGENCIES ADDENDUM

This document is for training purposes only. There may be minor differences between this version and the one





published in your transaction platform. Click on the Dicons to watch a quick training video on each provision. 48 B. Release of Title Review Contingency 49 ☐ Buyer does not wish to receive the Preliminary or Amended Preliminary Title Report and Title Documents and releases 50 Buyer's rights to receive title reports and to terminate the Sale Agreement during the Title Review Contingency Period. 51 ☐ Buyer has reviewed the Preliminary or Amended Preliminary Title Report and the Title Documents and Buyer is satisfied 52 with Property's title condition. Buyer releases Buyer's right to terminate the Sale Agreement during the Title Review 53 Contingency timeframe. 54 ☐ Buyer is satisfied with Seller's corrections to Buyer's title objections. Buyer releases Buyer's right to terminate the Sale 55 Agreement during the Title Correction Period. 56 C. Release of Lead Hazard Contingency Inspections (if built before 1978). 57 ☐ Buyer has received a satisfactory inspection report and releases Buyer's right to terminate the Sale Agreement during 58 the Lead Hazard Inspection Period. 59 ☐ Buyer has not yet received an inspection report but nonetheless chooses to release Buyer's right to terminate the Sale 60 Agreement during the Lead Hazard Inspection Period. 61 D. Financing Contingency. ☐ Buyer is satisfied with their financing and affirmatively releases the Financing Contingency. 62 63 E. Other Contingencies. 64 ☐ Buyer is satisfied with and affirmatively releases additional contingency in Sale Agreement, more particularly described 65

Dated:

Dated:

Dated:

Dated:





